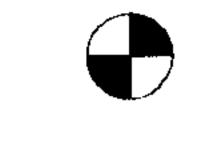
# LEGEND CULVERT PROPOSED PAVEMENT DEPTH OF PAVED DITCH DEPTH OF JUTE MESH DITCH DRIVEWAY CULVERT AND SIZE

CLEARING LIMITS VDOT STANDARD STOP SIGN

PROPOSED SPOT ELEVATION

PROPOSED SANITARY SEWER M.H. NUMBER W/ STATION OR COORDINATE LOCATION

BORING

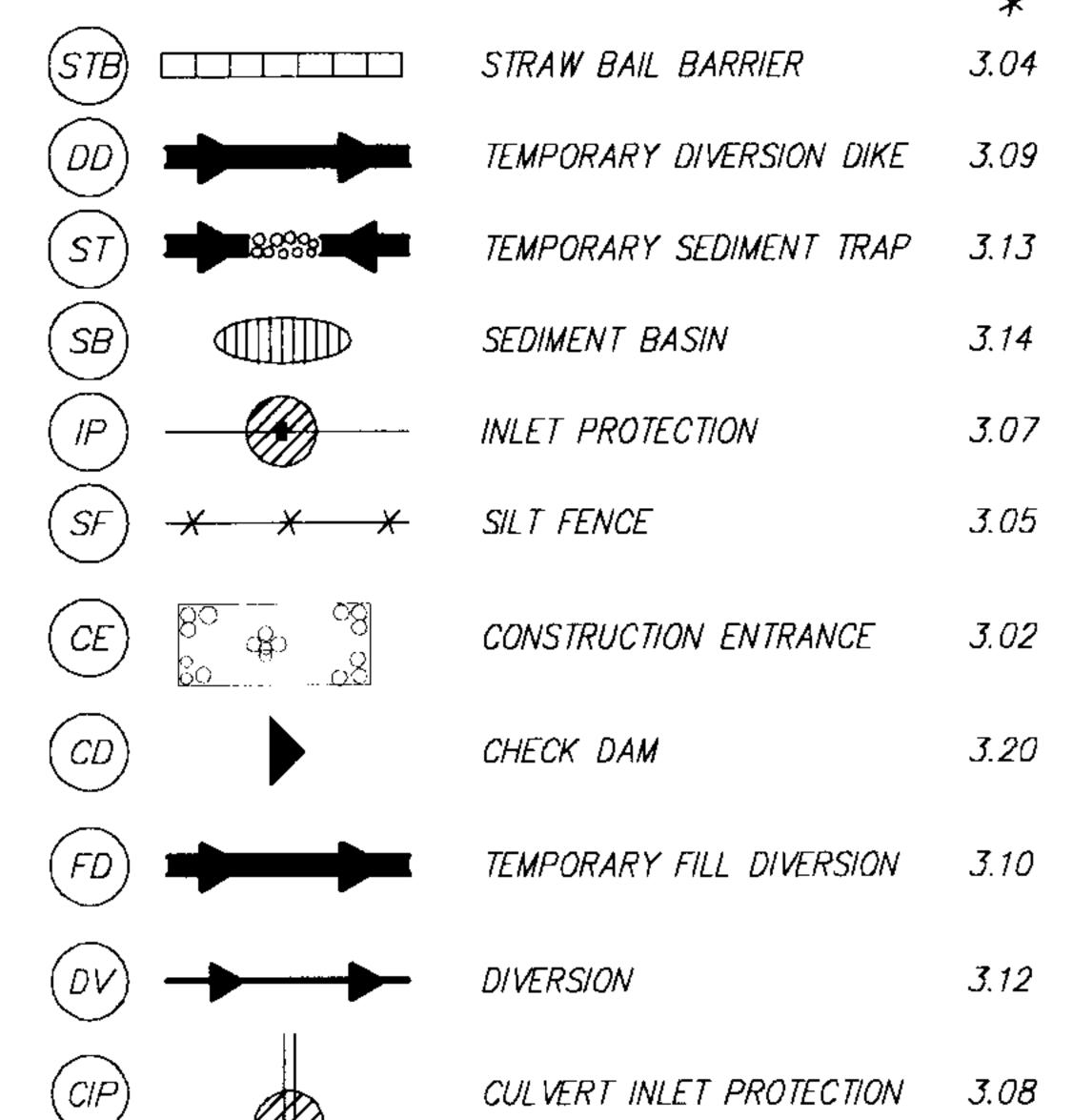


## WATER

EXISTING WATER LINE PROPOSED WATER LINE

SINGLE SERVICE CONNECTION DOUBLE SERVICE CONNECTION

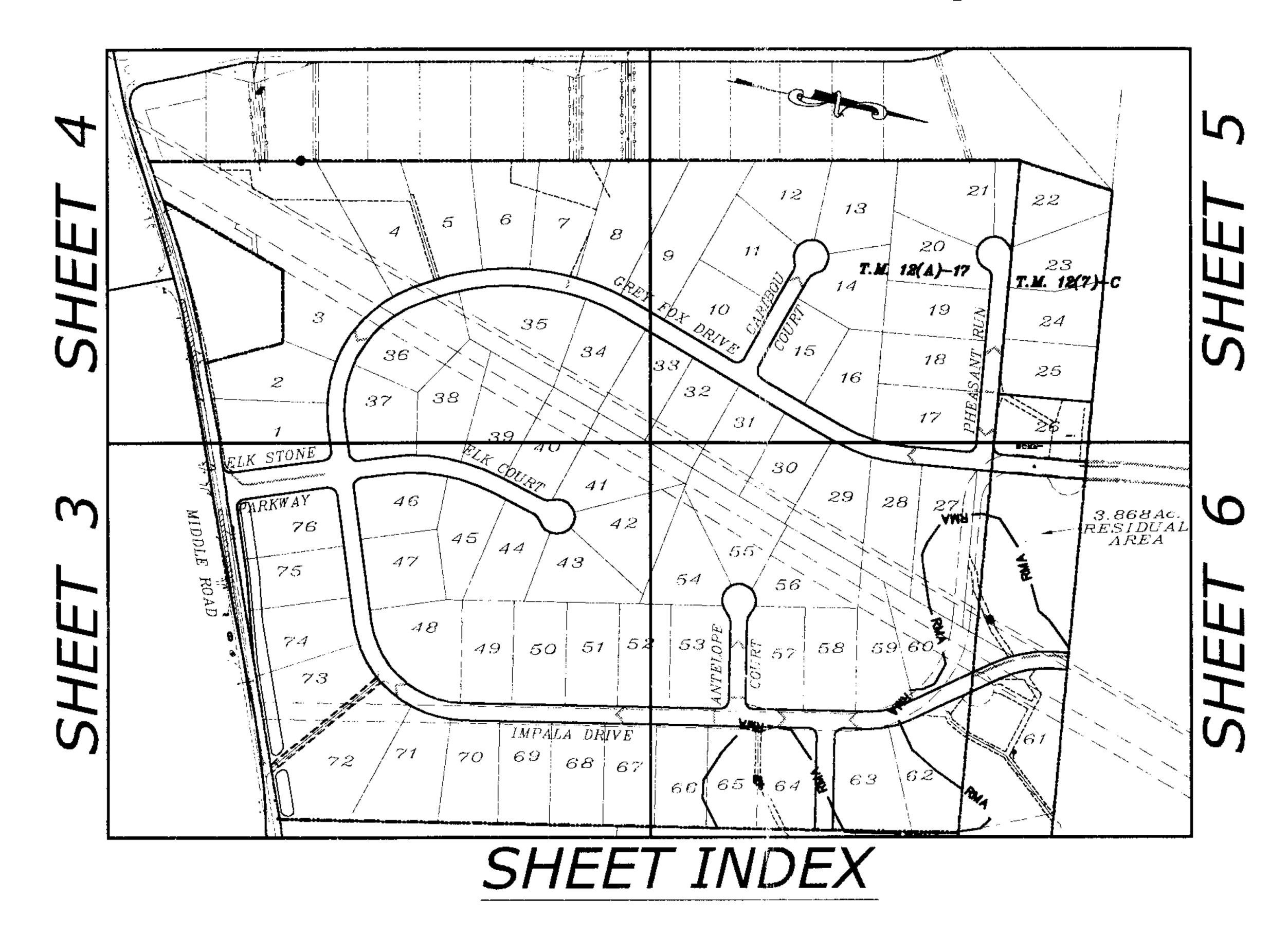
### **EROSION CONTROL**



DATE	SHEET NUMBERS	BY
10-27-2003	1-8, 10-15	∟.R.G.
01-15-2004	1-15	J.S.B.
02-20-2004	1 1 4	J.S.B.
04-06-2004	1, 2, 2.1, 5, 12	K.N.H
12-21-2005	:-2.1, 5, 6, 8, 11-1 <b>3</b>	R,U.R.
10-24-06	2, 2.1, 3, 4, 9, 13, 14A	K.N.H.
<u>3</u> 03-19-07	2, 2.1, 3, 5, 6, 8, 10-13	K.N.H.
<u>4</u> 05 - 11 07	2, 2.1, 3, 5-8, 10-14	L.R.G.
07-31-07	114, 15	R.U.R.
020808	113, 15	K.N.H.

# BRICKHOUSE LANDING SUBDIVISION

MIDDLE ROAD BLAND DISTRICT PRINCE GEORGE COUNTY, VIRGINIA



OWNER/DEVELOPER JULY 10, 2003

TAX MAP: 12(7)-C & 12(A)-17

### VIRGINIA DEPARTMENT OF TRANSPORTATION PETERSBURG RESIDENCY

SUBDIVISION AND SITE CONSTRUCTION PLAN GENERAL NOTES

ALL MATERIALS AND CONSTRUCTION WITHIN THE PUBLIC RIGHT OF WAY SHALL BE IN ACCORDANCE WITH CURRENT VIRGINIA DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS AND STANDARDS.

CONSTRUCTION WITHIN THE EXISTING STATE MAINTAINED RIGHT OF WAY (INCLUDING ACCESS).

UTILIZING THE PREDICTED SOIL SUPPORT VALUE SHOWN IN APPENDIX FOR THE PAVEMENT DESIGN GUIDE.

THE CONTRACTOR SHALL VERIFY THE ELEVATIONS OF ALL POINTS OF CONNECTION OR PROPOSED WORK TO EXISTING CURBS, SANITARY LINES, WATER LINES, ETC., PRIOR TO CONSTRUCTION. 7. UPON DISCOVERY OF SOILS THAT ARE UNSUITABLE FOR FOUNDATIONS, SUB-GRADES, OR OTHER ROADWAY CONSTRUCTION PURPOSES, THE

PLAN GRADE AS DIRECTED BY THE GEOTECHNICAL ENGINEER. BACKFILLED WITH SUITABLE MATERIAL AND COMPACTED IN ACCORDANCE WITH CURRENT VDOT SPECIFICATIONS. 8. ALL STORM SEWER DESIGN AND CONSTRUCTION TO BE IN ACCORDANCE WITH CURRENT VDOT INSTRUCTIONAL AND IIM LD-94 (D) 121.15.

CONTRACTOR SHALL IMMEDIATELY CONTACT A GEOTECHNICAL ENGINEER AND VDOT. THESE AREAS SHALL BE EXCAVATED BELOW

9. ALL STORM SEWER PIPES SHALL BE REINFORCED TONGUE AND GROOVE CONCRETE PIPE IN ACCORDANCE WITH ASTM-C-76. PIPE WITHIN THE RIGHT OF WAY SHALL BE A MINIMUM CL-III OR GREATER IN ACCORDANCE WITH CURRENT VDOT STANDARDS AND

SPECIFICATIONS. 10. IF PRE-CAST UNITS ARE TO BE USED, VDOT SHALL BE NOTIFIED AND THE MANUFACTURER SHALL SUBMIT DRAWING DETAILS FOR

REVIEW. CERTIFICATION AND VOOT STAMP WILL BE REQUIRED ON ALL UNITS. 11. ALL CONCRETE SHALL BE CLASS A3-AE (AIR ENTRAINED 3,000 PSI).

12. ALL ENTRANCES ARE TO BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH CURRENT VDOT STANDARDS. RESIDENTIAL LOT ACCESS SHALL BE PROVIDED PER THE FOLLOWING CRITERIA:

(a) ALL DRIVEWAY ENTRANCE CULVERTS ARE TO BE 15" DIAMETER X 20' LONG PIPE AND SHALL CONFORM TO PE-1 PRIVATE ENTRANCE STANDARDS UNLESS OTHERWISE DIRECTED BY THE RESIDENT ENGINEER. NO ENTRANCE CULVERTS ARE TO BE INSTALLED WITHIN FIVE (5) FEET OF A PROPERTY CORNER.

(b) VDOT STANDARD CG-9D ENTRANCES SHALL BE INSTALLED IN CURB AND GUTTER NEIGHBORHOODS. THE SAW-CUTTING REMOVAL OF THE STANDING CURB IS UNACCEPTABLE WHEN INSTALLING AN ENTRANCE ON EXISTING CURB AND GUTTER. CONTACT VDOT FOR INSPECTION 48 HOURS PRIOR TO ENTRANCE INSTALLATION.

13. THE DEVELOPER IS RESPONSIBLE FOR FURNISHING AND INSTALLING STOP SIGNS AT STREET INTERSECTIONS. 14. DESIGN CHANGES SPECIFIED MATERIALS CHANGES AND/OR FIELD CHANGES FROM THE APPROVED PLANS NEED TO BE RESUBMITTED TO VDOT PRIOR TO PROCEEDING WITH THE WORK. A LETTER OF EXPLANATION SHALL ACCOMPANY THE REVISED PLANS AND/OR DRAINAGE CALCULATIONS, WHICH MUST BE SUBMITTED, TO VDOT FOR REVIEW AND APPROVAL BY THE RESIDENT ENGINEER.

15. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON PLAN. IF THERE APPEARS TO BE A CONFLICT, AND/OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THIS PLAN, CALL MISS UTILITY OF CENTRAL VIRGINIA AT 1-800-552-7001. THE DEVELOPER SHALL BE RESPONSIBLE FOR THE RELOCATION OF ANY UTILITY WITHIN EXISTING AND/OR PROPOSED RIGHT OF WAY REQUIRED BY THE DEVELOPMENT.

16. ALL STREETLIGHTS SHALL BE LOCATED A MINIMUM OF 9.5' FROM THE EDGE OF PAVEMENT ON CURB AND GUTTER STREETS AND/OR

CASING SLEEVES SHALL BE PLACED AT ALL ROAD CROSSINGS FOR GAS, POWER, TELEPHONE AND CABLE TV SERVICE TRUNK LINES. 18. THE INSTALLATION OF SEWER, WATER, AND GAS MAINS (INCLUDING SERVICE LATERALS AND SLEEVES) SHALL BE COMPLETED PRIOR TO

SHOWN ON THE PLANS. GENERALLY, ALL DITCHES WITH SLOPES EXCEEDING 5% OR LESS THAN 0.75% SHALL BE PAVED UNLESS

20. VDOT APPROVAL OF THESE PLANS WILL EXPIRE THREE (3) YEARS FROM THE DATE OF APPROVAL.

21. YOOT SHALL HAVE PERFORMED THE REQUIRED FIELD INSPECTION (PROOF ROLL) PRIOR TO PLACEMENT OF THE AGGREGATE BASE COURSE(S). CONTACT VDOT FOR SUBGRADE INSPECTION 48 HOURS PRIOR TO SCHEDULING PLACEMENT OF AGGREGATE BASE

22. THE SCHEDULING OF AGGREGATE BASE INSTALLATION AND SUBSEQUENT PAVING ACTIVITIES SHALL ACCOMMODATE FORECAST WEATHER CONDITIONS PER SECTION 315 OF THE ROAD AND BRIDGE SPECIFICATIONS.

23. VDOT SHALL HAVE APPROVED THE AGGREGATE BASE COURSE(S) FOR DEPTH, TEMPLATE AND PERFORMED THE REQUIRED FIELD INSPECTION (PROOF ROLL) PRIOR TO PLACEMENT OF ANY SURFACE COURSE(S). CONTACT VDOT FOR INSPECTION OF THE AGGREGATE BASE COURSE(S) 48 HOURS PRIOR TO APPLICATION OF THE SURFACE COURSE(S).

24. AN ACTUAL COPY OF THE COMPLETE CBR REPORT IS TO BE SUBMITTED TO VDOT IN CONJUNCTION WITH FINAL PAVEMENT DESIGNS. ALL PAVEMENT DESIGN RECOMMENDATIONS SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT EDITION OF THE PAVEMENT DESIGN GUIDE FOR SUBDIVISION AND SECONDARY ROADS IN VIRGINIA.

25 A GEOTECHNICAL ENGINEER IS TO ASCERTAIN CAUSE AND CERTIFY RECOMMENDED METHOD OF REPAIR FOR ALL PAVEMENT STRUCTURAL FAILURES PRIOR TO STATE ACCEPTANCE. 26. ALL VEGETATION AND ORGANIC MATERIAL IS TO BE REMOVED FROM THE RIGHT OF WAY LIMITS PRIOR TO CONDITIONING OF THE

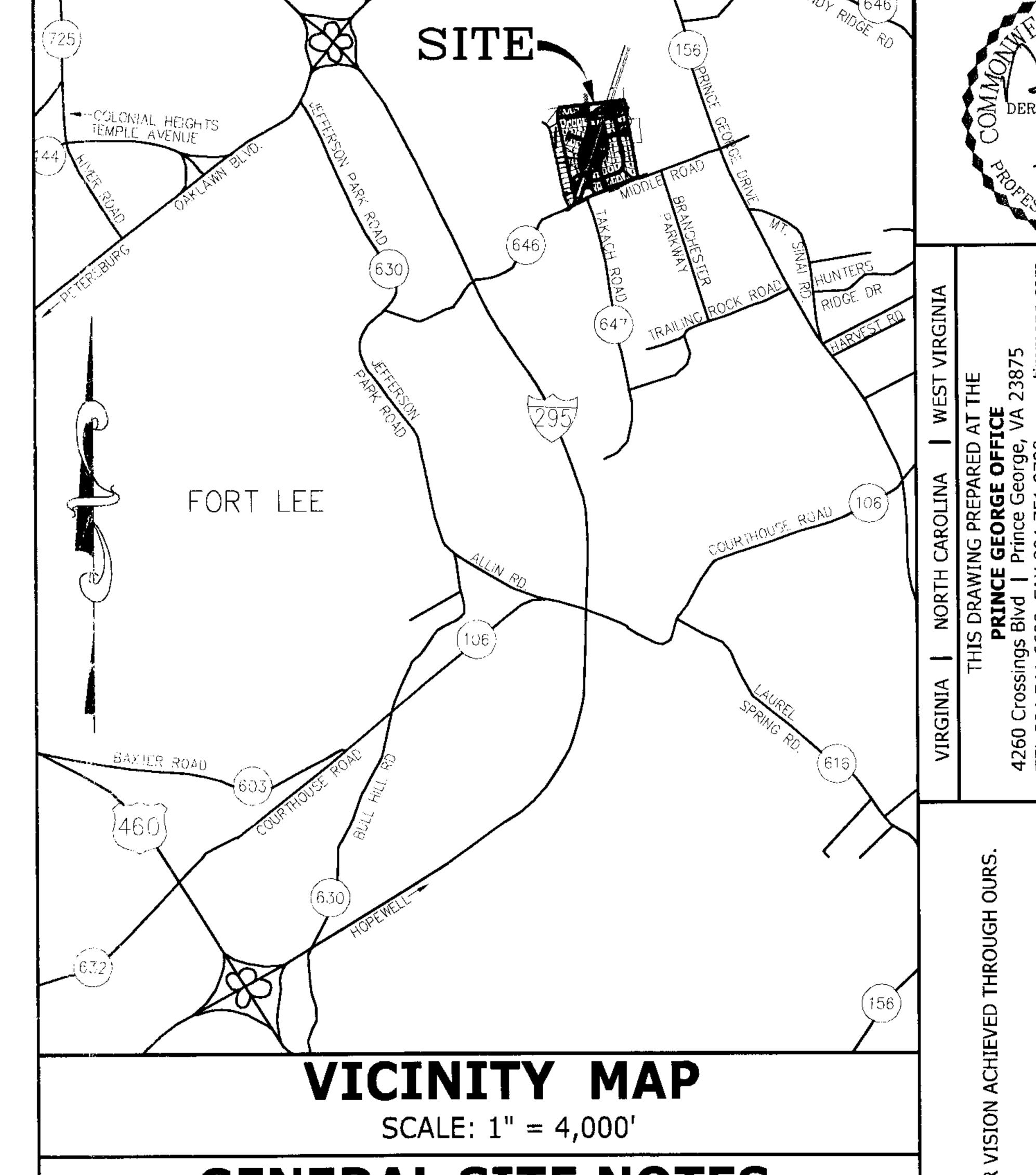
27. CERTIFICATION AND SOURCE OF MATERIALS ARE TO BE SUBMITTED TO VDOT FOR ALL MATERIALS AND BE IN ACCORDANCE WITH THE ROAD AND BRIDGE SPECIFICATIONS AND ROAD AND BRIDGE STANDARDS.

28. THE NECESSITY AND LOCATIONS FOR ADDITIONAL VOOT STANDARD UNDERDRAINS TO BE DETERMINED AT TIME OF SUBGRADE

29. APPROVAL OF A DETAILED CONSTRUCTION SEQUENCING/MAINTENANCE OF TRAFFIC NARRATIVE FOR THE WORK ZONE IS A PREREQUISITE FOR ISSUANCE OF A LAND USE PERMIT ALLOWING ACCESS TO AND CONSTRUCTION WITHIN VDOT MAINTAINED RIGHT-OF-WAY.

30. VOOT SHALL BE PROVIDED DOCUMENTATION THAT ALL IN-PLACE PAVEMENTS MEET OR EXCEED THE APPROVAL PAVEMENT DESIGN THICKNESS PRIOR TO STATE ACCEPTANCE.

31. ALL PLANS FOR PROPOSED NON-STANDARD IMPROVEMENTS THAT ARE TO BE INSTALLED WITHIN THE ULTIMATE VDOT RIGHT OF WAY; E., SIDEWALK, PAVEMENT SECTIONS, LANDSCAPING, IRRIGATION SYSTEMS, LIGHTING, BOLLARDS, SIGNAGE, ETC., MUST BE SUBMITTED FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.



## GENERAL SITE NOTES

SINGLE FAMILY RESIDENTIAL 3. CURRENT ZONING: ZONING AMENDMENT NUMBER (ZM-02-005) PRINCE GEORGE PLANNING AREA 전 PLANNING DISTRICT: 5. NUMBER OF LOTS: COUNTY SYSTEM COUNTY SYSTEM 7. WATER: TIMMONS GROUP FIELD SURVEY 9. IOTAL ACREAGES ±109 22 ACRES ±99.32 ACRES TO TOTAL AREA IN LOTS: 11 TIVE AREA IN RIGHT OF WAY: 9.90 ACRES  $1.13 \pm ACRES$ 12. AREA OF WETLANDS:

. OWNER AND DEVELOPER:

TIMMONS GROUP. THIS WETLANDS DELINEATION IS ACOE APPROVED (ACOE PROJECT NUMBER 05-R2176 3 NO R.P.A. IS PRESENT ON THIS PROPERTY.

## COUNTY APPROVALS

DATE RECEIVED

DEVELOPMENT PLAN APPROVAL PRINCE GEORGE COUNTY, \

## SHEET INDEX

COVER AND NOTES DETAILS & TYPICAL SECTIONS OVERALL UTILITY PLAN DEVELOPMENT PLAN DEVELOPMENT PLAN DEVELOPMENT PLAN DEVELOPMENT PLAN PROFILES PROFILES PROFILES **PROFILES** PROFILES PROFILES OVERALL EROSION CONTROL & HYDROLOGY ANALYSIS EROSION CONTROL NOTES & DETAILS EROSION CONTROL NOTES & DETAILS TRAFFIC CONTROL PLAN

SHEET NO.